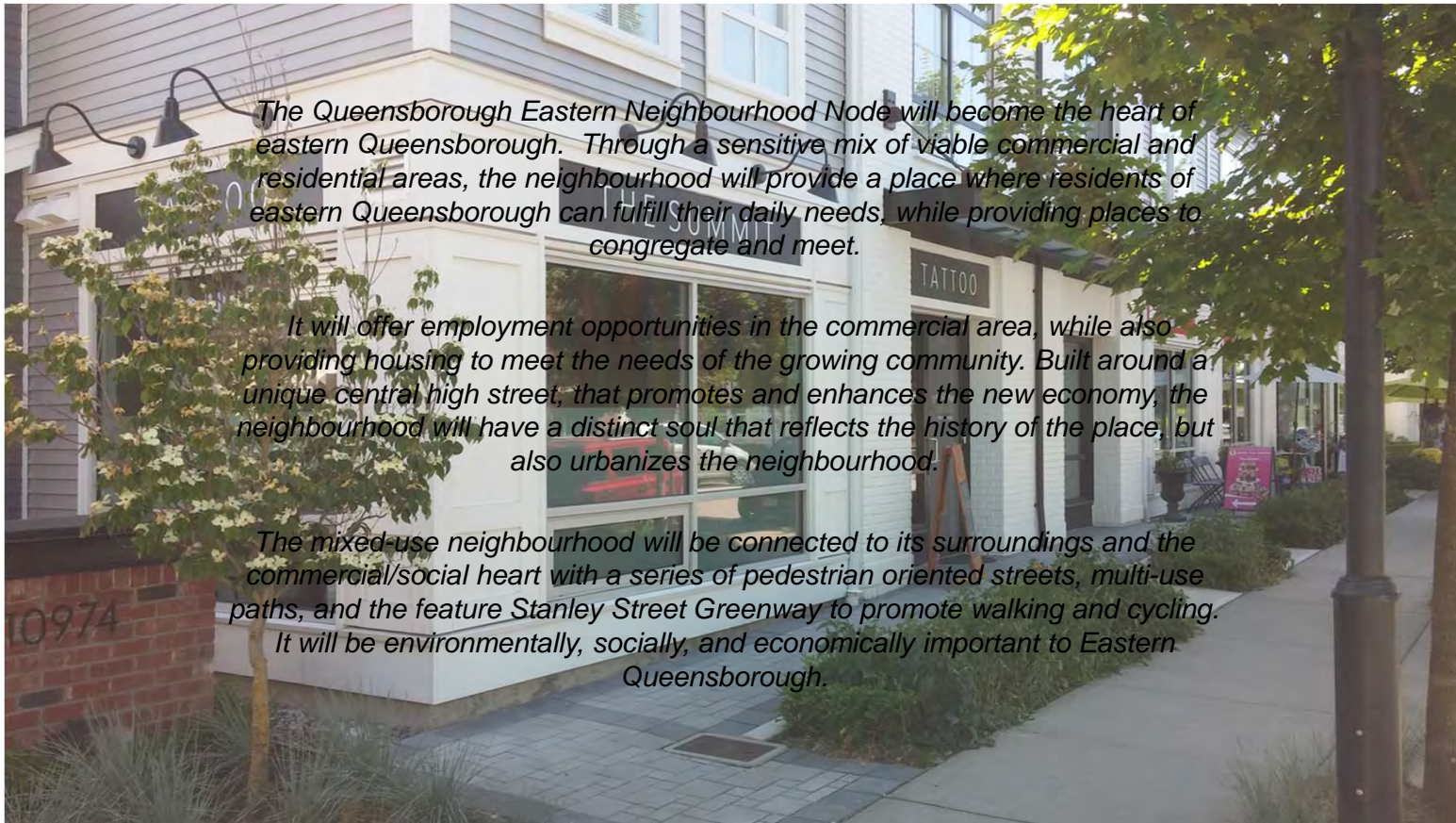


Queensborough Eastern
Neighbourhood Node





The Queensborough Eastern Neighbourhood Node will become the heart of eastern Queensborough. Through a sensitive mix of viable commercial and residential areas, the neighbourhood will provide a place where residents of eastern Queensborough can fulfill their daily needs, while providing places to congregate and meet.

It will offer employment opportunities in the commercial area, while also providing housing to meet the needs of the growing community. Built around a unique central high street, that promotes and enhances the new economy, the neighbourhood will have a distinct soul that reflects the history of the place, but also urbanizes the neighbourhood.

The mixed-use neighbourhood will be connected to its surroundings and the commercial/social heart with a series of pedestrian oriented streets, multi-use paths, and the feature Stanley Street Greenway to promote walking and cycling. It will be environmentally, socially, and economically important to Eastern Queensborough.

Queensborough Eastern Neighbourhood Node

The Plan Area

Description

The plan area is bounded by Duncan Street, Furness Street, Ewen Avenue and Stanley Street (Greenway). Mercer Street connects Duncan Street and Ewen Avenue. Blackley Street connects Stanley and Mercer Streets.

The plan area for the master plan consists of approximately 21 acres and contains 46 properties as outlined in red. There is approximately 17 acres of developable land.

The lands under the rezoning application by Platform Properties amount to approximately 11 acres and are identified in yellow on the adjacent map.

Current Uses

Most of the land under application west of Mercer Street is undeveloped.

The land under application east of Mercer Street includes the current dog park, City tow yard, and City animal shelter.

The majority of the remaining lands are used for residential use, a pub, and other commercial/light industrial uses.



Master Plan Area (Red) and Rezoning Application/Platform Properties Lands (Yellow)

Queensborough Eastern Neighbourhood Node

Site Analysis

Opportunities

- A rich local history and character
- Distant views including Poplar Island
- Green buffers and landscaped edges
- Connection to perimeter trail and Q2Q pedestrian network
- Open space and environmental diversity
- Connections to bikeways and trails
- Neighbourhood retail and services

Constraints

- A mix of adjacent land uses
- Rail lines
- Limited public transit
- Flood Construction Levels (FCL)



How We've Engaged So Far

Queensborough Residents Association Engagement
Community Open House No. 1
Visual Preference Survey and Open House Questionnaire
Neighbour meetings
City Development Review Committee
City Council No. 1
City Advisory Planning Commission
City Advisory Design Panel
City Council No. 2
Community Open House No. 2
City Design Workshop
City Council - Committee of the Whole
Community Open House No. 3 (Today)

What We've Heard

Land use, density, and development concept well received
Strong support for neighbourhood supporting commercial
Support for more naturalized open spaces around Stanley Street, moving to more urban spaces around commercial node
Main concern is the existing traffic condition
Need to be attentive to industrial interface
Quality urban design is required
Need to provide employment space

Queensborough Eastern Neighbourhood Node

Proposed Land Use

Mercer Street will be redesignated for a Main Street commercial use on both sides. It will provide street level commercial, office, service, artisan, and knowledge based uses. This expands the commercial designation from the Queensborough Community Plan.

A commercial centre located on the east side of Mercer Street adjacent to Ewen Avenue will remain designated as Main Street commercial which provides for the intended grocery store, retail, service, and office uses.

The Queensborough Comprehensive Development District will become a residential neighbourhood of low to medium density townhomes, and the Queensborough Community Plan will be amended to accommodate this use.

The Residential Low Density (RL) portion will remain as it currently is in the Queensborough Community Plan. It is envisioned as single-detached homes on individual lots.

Public open spaces will be located to enhance the mixed-use and residential areas and provide neighbourhood amenity spaces.

The overall vision is based on a new neighbourhood with a mix of uses and public spaces that fits into Queensborough, but with a distinct character and identity.



Proposed Queensborough Community Plan Land Use Designations

Queensborough Eastern Neighbourhood Node

Zoning Application by Platform Properties

Low Density Residential

Rezone from M1 (Light Industrial) to RQ-1 (Queensborough Neighbourhood Residential Dwelling District). This will facilitate the development of single detached homes on individual lots.

Medium Density Residential

Rezone from M1 (Light Industrial) to RT3A (Queensborough Townhouse Districts) to facilitate low to medium density townhomes.

Mixed Employment / Residential

Rezone from M1 (Light Industrial) to a variation of C2A (Community Commercial Mid-Rise) to permit ground level commercial with townhomes above.

Mixed Commercial

Rezone from M1 (Light Industrial) to C2A (Community Commercial Mid-Rise) to accommodate the development of a neighbourhood commercial centre.



Proposed Zoning Application by Platform Properties

Queensborough Eastern Neighbourhood Node

Master Plan

The master plan is a conceptual plan that illustrates a comprehensively planned, complete neighbourhood that builds on its surroundings.

The master plan contemplates a mix of uses including commercial and commercial mixed use (shaded in red), and multi-family residential uses (shaded in yellow). The Residential Low-Density area (unshaded) will remain.

The public realm on the master plan consists of major greenways along Stanley Street and Duncan Street, as well as urban plazas in the commercial areas and reconstructed public green streets that will be landscaped and pedestrian/cyclist oriented. There are also green pedestrian and cyclist connections throughout the proposed development.

The commercial component includes a new Mercer High Street, which will feature innovative ground level commercial along the street with residential townhomes above. It also features an anchored commercial centre with a range of grocery, retail, service, and office uses.

The residential component envisions ground-oriented townhomes in modest blocks, at a density similar to other townhome developments in Queensborough. The existing single-detached lots on Ewen Avenue will be respected and any new development will be complimentary to the existing residents.

The master plan is inclusive and respects all landowners within the plan area and their ability to develop in a manner consistent with the development proposed by Platform Properties.



Conceptual Master Plan

Queensborough Eastern Neighbourhood Node

Public Realm and Open Spaces

The Public Realm plan displays the publically accessible pathways, trails and gathering spaces.

The master plan proposes an expansion of the Stanley Street Greenway adjacent to the site, and also a new greenway along Duncan Street consisting of a landscaped drainage swale and separated multi-use pathway.

The greenways will have informal gathering and seating areas at certain locations, and will provide a natural alternative to the urban plazas located through the commercial centre.

The major greenways will be sensitively landscaped to create aquatic and non-aquatic habitat, including plantings suitable for Barn Owl habitat and a Barn Owl nesting box.

A significant green spine provides internal east-west connectivity and access to the Mercer High Street and commercial centre.

The streets are pedestrian and cyclist oriented and will provide safe and efficient movement of people.

The Green Spaces plan identifies a network of internal green spaces, many of which will be publically accessible and illustrates how green spaces will integrate with the development proposed in the master plan.



Public Realm Plan



Green Spaces

Queensborough Eastern Neighbourhood Node

Mercer High Street and Commercial Centre

A new commercial High Street is proposed for Mercer Street. Street fronting commercial is planned along the entire frontage on both sides of the street. It will introduce innovative employment opportunities and unique commercial businesses to enliven the street in an urban environment.

The Mercer High Street will accommodate approximately 10,000 square feet of commercial development, and approximately 20-25 residential townhomes above.

The commercial centre located at Mercer Street and Ewen Avenue will add approximately 40,000 square feet of anchored commercial (in the Platform Properties rezoning application). Additional commercial will be located at Furness Street and Ewen Avenue. In total, the master plan contemplates over 50,000 square feet of new commercial and employment generating development.

The commercial centre also includes a number of features designed to make it the commercial, and social, heart of Queensborough. It will feature publicly accessible plazas at the corner of Mercer Street and Ewen Avenue, as well as Mercer Street and Blackley Streets, and at Furness Street in the future. These plazas will become gateways to Eastern Queensborough.

A public pathway and landscape buffer will run the length of Ewen Avenue, which in conjunction with a new fence, will create a buffer and pedestrian/cyclist connection between the rail line and proposed development. Bicycle racks will be located throughout the centre to promote cycling.

The buildings will feature wrap-around glazing at the ends to ensure they provide transparency to the plaza areas, and create an appropriate frontage along Ewen Avenue.



Mercer High Street Commercial Ideas



Commercial Centre Perspective

Queensborough Eastern Neighbourhood Node

Residential Development

The residential development is envisioned predominantly as townhouse development at densities and sizes comparable to that already found in the neighbourhood. It will yield approximately 250 townhomes within the master plan area, approximately 175 of which are in the Platform Properties rezoning application. Compact single-detached lots may also be included over portions of the site, including along Ewen Avenue.

The residential development will respect the heritage character along Ewen Avenue, as well as the adjacent industrial land on Duncan Street.

The following points describe the character of the residential area that will inform the development guidelines:

- Densities will range between 22-27 units per acre, or less if compact single-detached lots are included
- Development will respond to greenway, industrial, and residential edges
- Respect heritage homes and low density residential on Ewen Avenue
- Convey a neighbourhood identity that reflects industrial and riverfront context yet respects Port Royal's craftsman style
- Incorporate softer, more naturalized landscaping to reflect natural character

The residential development will contribute to the critical mass of residents to support the proposed commercial development.



Queensborough Eastern Neighbourhood Node

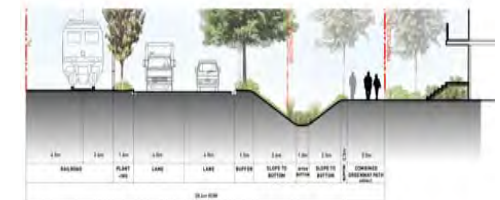
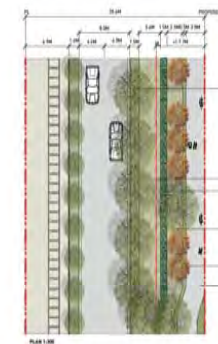
Moving People

Pedestrians and cyclists will be accommodated through an expansion of the Stanley Street Greenway, a newly created Duncan Street Greenway, a series of internal pedestrian links, and newly developed public streets with sidewalks and cycling infrastructure.

A new pathway will also be introduced through the commercial centre between the commercial buildings and the fenced railway adjacent to Ewen Avenue. This path will ultimately connect to future commercial development to the east, providing access to Furness Street.

The goal is to ensure people can move comfortably and safely to and through the neighbourhood, providing connections to the existing Stanley Street and Ewen Avenue greenways as well as the Fraser River Perimeter Trail and the future Quayside to Queensborough bridge.

For neighbourhood residents, the goal is to ensure there are safe and comfortable alternatives to walk or cycle to the Mercer High Street and commercial centre.



Stanley Street Greenway, North of Blackley Street

Duncan Street, West of Mercer Street

Conceptual Cross-Sections

Queensborough Eastern Neighbourhood Node

Moving Vehicles

Traffic generated from the development of the master plan area will have a limited impact on the neighbourhood streets and connector streets. Similarly, it will have limited impact on the regional transportation system, which is under the jurisdiction of the Ministry of Transportation and Infrastructure, and is not contemplated for improvement in the short term.

The new road construction, particularly on Duncan Street, will greatly improve the road infrastructure and provide safe alternatives for pedestrians and cyclists.

The proposed commercial and residential development would generate comparable daily traffic volume to that if the lands were developed under their current Light Industrial zoning. Also, most of the trips would be in personal vehicles under the proposal, whereas development under the current Light Industrial zoning would generate a greater percentage of truck traffic that would be constant throughout the day, rather than the peak morning and afternoon periods typical of residential neighbourhoods.

The introduction of the neighbourhood commercial uses will provide an option for residents to meet their daily needs within walking or cycling distance, which will reduce traffic generated by the neighbourhood.

The master plan also contemplates a new lane for the properties fronting Ewen Avenue, and that, combined with the City-planned crossing-control of Ewen Avenue at Mercer Street, will promote the City's train whistle cessation program.



Traffic Generation and Distribution

Queensborough Eastern Neighbourhood Node

Municipal Services

Municipal standard water supply has been planned for the entire plan area. It contemplates the delivery of domestic water supply and fire flows to ensure a safe water supply for all residents within the plan area. It also provides watermain looping to facilitate water quality and pressure for the entire plan area.

A Municipal standard sanitary system will be introduced into the neighbourhood to provide appropriate municipal sanitary service for the new development and an opportunity to eliminate the septic systems that service the majority of the lands. This system will connect to the Metro Vancouver system and will be discharged through a new pump station.

The proposed storm system utilizes a system of stormwater infiltration, where appropriate, but also a new stormwater management system that will ensure appropriate stormwater management. It will feature retention of the drainage canal along Stanley Street and the introduction of the new Duncan Street drainage canal to replace the Beach Street ditch.

New servicing has been comprehensively planned, and will follow the development of lands adjacent to the proposed servicing.



Proposed Municipal Services (subject to City Engineering approval)

Queensborough Eastern Neighbourhood Node

Community Benefits

The master plan describes a renewal of the Eastern Queensborough Neighbourhood Node. It will create a vibrant, distinctive, and authentic commercial high street and commercial centre with extensive public spaces that will become the economic and social heart of Eastern Queensborough. It will be a centre for local, innovative employment and economic generation, and provide unique opportunities for employment and commerce. It will be authentic to Queensborough's past and redefine its future.

New and refurbished greenway corridors will surround and permeate the neighbourhood, increasing connectivity to and through the neighbourhood, the waterfront walkways, and ultimately the Quayside to Queensborough pedestrian bridge. Pedestrians and cyclists will flow freely and safely through the neighbourhood. These green spaces will also provide sensitive habitat for aquatic and non-aquatic species, and will provide residents and visitors active and recreational pathway options.

The significant servicing improvements accompanying the development will introduce water, sanitary, and storm sewer service improvements to aging or non-existent infrastructure for the neighbourhood. A network of pedestrian oriented streets and pathways will renew the area and provide more options for connecting to and through the neighbourhood. The greenways and streets will be a defining component of the public realm and will reflect Queensborough's true character.

The new neighbourhood will fulfill the City's QCP objectives by making Eastern Queensborough a "complete and sustainable community" where residents, both current and future can "live, work, shop and play" in their own neighbourhood.



Commercial Centre Perspective from Ewen Avenue at Mercer Street